

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 715909M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 18/09/2014 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Thursday, 31 March 2016

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning &
Environment

Project summary

Project name	Burbang Cres & South St Rydalmere
Street address	14 Burbang Crescent Rydalmere 2116
Local Government Area	Parramatta City Council
Plan type and plan number	deposited 31350
Lot no.	5
Section no.	-
No. of residential flat buildings	2
No. of units in residential flat buildings	32
No. of multi-dwelling houses	0
No. of single dwelling houses	0

Project score

Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 35	Target 35

Certificate Prepared by

Name / Company Name: ESD Synergy

ABN (if applicable): 17165174685

Description of project

Project address

Project name	Burbang Cres & South St Rydalmere
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Project type

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No. of units in residential flat buildings	32
No. of multi-dwelling houses	0
No. of single dwelling houses	0

Site details

Site area (m ²)	2784.9
Roof area (m ²)	950
Non-residential floor area (m ²)	0.0
Residential car spaces	35
Non-residential car spaces	2

Common area landscape

Common area lawn (m ²)	285.0
Common area garden (m ²)	376.0
Area of indigenous or low water use species (m ²)	85.0

Assessor details

Assessor number	20241
Certificate number	1009021732
Climate zone	56

Project score

Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 35	Target 35

Description of project

The tables below describe the dwellings and common areas within the project

Residential flat buildings - Block A, 17 dwellings, 3 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (mln area m ²)
A01	1	57.7	0.0	39.0	0.0
A05	3	99.7	0.0	9.0	0.0
A09	2	83.1	0.0	0.0	0.0
A13	2	75.3	0.0	0.0	0.0
A17	2	79.1	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (mln area m ²)
A02	2	75.0	0.0	47.0	0.0
A06	2	76.9	0.0	0.0	0.0
A10	2	75.6	0.0	0.0	0.0
A14	2	78.7	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (mln area m ²)
A03	2	75.6	0.0	16.0	0.0
A07	2	75.3	0.0	0.0	0.0
A11	2	79.1	0.0	0.0	0.0
A15	2	83.1	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (mln area m ²)
A04	1	63.7	0.0	6.0	0.0
A08	2	78.7	0.0	0.0	0.0
A12	2	76.9	0.0	0.0	0.0
A16	2	75.6	0.0	0.0	0.0

Residential flat buildings - Block B, 15 dwellings, 3 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (mln area m ²)
B01	2	80.4	0.0	0.0	0.0
B05	2	76.7	0.0	0.0	0.0
B09	3	96.7	0.0	0.0	0.0
B13	2	75.3	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (mln area m ²)
B02	1	65.5	0.0	0.0	0.0
B06	2	76.8	0.0	0.0	0.0
B10	2	76.7	0.0	0.0	0.0
B14	3	96.7	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (mln area m ²)
B03	1	57.7	0.0	22.0	0.0
B07	2	78.1	0.0	0.0	0.0
B11	2	76.8	0.0	0.0	0.0
B15	2	76.7	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (mln area m ²)
B04	3	96.7	0.0	0.0	0.0
B08	2	75.3	0.0	0.0	0.0
B12	2	78.1	0.0	0.0	0.0

Description of project

The tables below describe the dwellings and common areas within the project

Common areas of unit building - Block A

Common area	Floor area (m²)
Lift car (No.1)	-

Common areas of unit building - Block B

Common area	Floor area (m²)
Lift car (No.2)	-

Common areas of the development (non-building specific)

Common area	Floor area (m²)
Car park area (No. 1)	1441.0
Ground floor lobby type (No. 1)	132.0

Common area	Floor area (m²)
Garbage room (No. 1)	43.0
Hallway/lobby type (No. 1)	204.0

Common area	Floor area (m²)
Plant or service room (No. 1)	62.0

Schedule of BASIX commitments

1. Commitments for Residential flat buildings - Block A

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

(b) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

2. Commitments for Residential flat buildings - Block B

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

(b) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

3. Commitments for multi-dwelling houses

4. Commitments for single dwelling houses

5. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water
- (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for Residential flat buildings - Block A

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		✓	✓
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 6 but <= 7.5 L/min)	4 star	5 star	6 star	no	-	4 star	-	-	-	-	-	-	-

	Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
A01, A02, A03, A04, A05	central water tank (no. 1)	See central systems	See central systems	yes	no	no	no	no

(II) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(II) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	central hot water system 1	individual fan, ducted to façade or roof	interlocked to light	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
A05	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	3 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no
A01, A04	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no
A02, A03, A06, A07, A08, A09, A10, A11, A12, A13, A14, A15, A16, A17	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	4 star	-	2 star	yes	no

(III) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.			
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.			
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

	Thermal loads	
Dwelling no.	Area adjusted heating load (In mJ/m²/yr)	Area adjusted cooling load (In mJ/m²/yr)
A01	54.8	30.6
A02	42.9	15.7
A03	39.1	24.0
A04	31.1	22.0
A05	43.7	15.8

	Thermal loads	
Dwelling no.	Area adjusted heating load (In mJ/m²/yr)	Area adjusted cooling load (In mJ/m²/yr)
A06	35.4	21.2
A07	7.7	34.6
A08	10.8	24.1
A09	12.0	23.4
A10	18.4	19.6
A11	52.6	18.3
A12	41.3	28.0
A13	17.6	40.9
A14	20.6	31.0
A15	21.6	29.4
A16	28.9	24.4
All other dwellings	38.1	27.4

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	4 star	6 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area	Common area ventilation system		Common area lighting		
	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Lift car (No.1)	-	-	light-emitting diode	connected to lift call button	No

Central energy systems	Type	Specification
Lift (No. 1)	gearless traction with V V V F motor	Number of levels (including basement): 4

2. Commitments for Residential flat buildings - Block B

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓ ✓	✓ ✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 6 but <= 7.5 L/min)	4 star	5 star	6 star	no	-	4 star	-	-	-	-	-	-	-

	Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
B03	central water tank (no. 1)	See central systems	See central systems	yes	no	no	no	no

(II) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(II) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	central hot water system 1	individual fan, ducted to façade or roof	interlocked to light	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
B02, B03	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no
B04, B09, B14	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	3 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no
B01, B05, B06, B07, B08, B10, B11, B12, B13, B15	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	1-phase airconditioning 2 Star (new rating) (zoned)	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	4 star	-	2 star	yes	no

(III) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.			
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.			
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

	Thermal loads	
Dwelling no.	Area adjusted heating load (In mJ/m²/yr)	Area adjusted cooling load (In mJ/m²/yr)
B01	56.1	20.9
B02	39.0	27.2
B03	24.5	22.1
B04	22.3	22.4
B05	47.9	20.5

	Thermal loads	
Dwelling no.	Area adjusted heating load (In mJ/m²/yr)	Area adjusted cooling load (In mJ/m²/yr)
B06	32.3	24.4
B07	15.6	32.2
B08	18.8	21.0
B09	7.3	24.1
B10	22.8	23.9
B11	41.8	29.6
B12	26.9	40.6
B13	19.3	27.4
B14	16.0	31.4
All other dwellings	31.9	29.0

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	4 star	6 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Lift car (No.2)	-	-	light-emitting diode	connected to lift call button	No

Central energy systems	Type	Specification
Lift (No. 2)	gearless traction with V V V F motor	Number of levels (including basement): 4

5. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	4 star	6 star	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Central water tank - rainwater or stormwater (No. 1)	5000.0	To collect run-off from at least: - 100.0 square metres of roof area of buildings in the development - 0.0 square metres of impervious area in the development - 0.0 square metres of garden/lawn area in the development - 0.0 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system).	- Irrigation of 661.0 square metres of common landscaped area on the site - car washing in 1 car washing bays on the site

(II) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area	Common area ventilation system		Common area lighting		
	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Car park area (No. 1)	ventilation (supply + exhaust)	carbon monoxide monitor + VSD fan	fluorescent	time clock and motion sensors	No
Garbage room (No. 1)	ventilation exhaust only	-	fluorescent	motion sensors	No
Plant or service room (No. 1)	ventilation exhaust only	none ie. continuous	fluorescent	manual on / manual off	No
Ground floor lobby type (No. 1)	ventilation supply only	time clock or BMS controlled	compact fluorescent	time clock and motion sensors	No
Hallway/lobby type (No. 1)	ventilation supply only	time clock or BMS controlled	compact fluorescent	time clock and motion sensors	No

Central energy systems	Type	Specification
Central hot water system (No. 1)	gas-fired boiler	Piping insulation (ringmain & supply risers): (b) Piping internal to building: R1.0 (~38 mm)
Alternative energy supply	Photovoltaic system	Rated electrical output (mIn): 5.0 peak kW

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

Access Compliance Report to accompany a

Development Application

Development Address: Burbang Crescent & South Street, Rydalmere

Client: Strong Property Development c/o architex



This report is for a proposed New Building, the development being a building with classification as detailed below;

- Class 2 (building containing more than 2 SOUs i.e. sole-occupancy units)
- Class 7a (car park)

This report is based on the relevant components of;

- Building Code of Australia (BCA) 2015, Parts D3, E3 and F2 (where applicable)
- Disability (Access to Premises-Building) Standards 2010 (henceforth referred to as APS)
- AS1428.1-2009 Part 1: General requirements for access, including any amendments
- AS1428.4.1-2009 Part 4.1: TGSIs (Tactile ground surface indicators), including any amendments
- AS2890.6-2009 Part 6: Off-street parking for people with disabilities.
- AS4299-1995 Adaptable Housing
- AS1735.12-1999 Lifts Part 12: Facilities for persons with disabilities
- Australian Human Rights Commission's Guidelines on application of APS, Version 2
- State Environmental Planning Policy 65 (SEPP 65) relating to requirements of the provision of Livable Housing Australia's Silver Level Apartments
- Livable Housing Australia's Livable Housing Design Guidelines- Third Edition

The assessment of the proposed development has been undertaken to the extent necessary to issue Development consent under the Environmental Planning and Assessment Act. The proposal achieves the spatial requirements to provide access for people with a disability and it is assumed that assessment of the detailed requirements such as assessment of internal fit-out, details of stairs, ramps and other features will occur at CC (Construction Certificate) stage.

By compliance with the recommendation in this report, the development complies with the requirements of Access Code of Disability (Access to Premises-Building) Standards 2010, the Disability Access relevant sections of Building Code of Australia 2015, the requirements of SEPP 65 related to Livable Housing and the essential criteria of AS4299-Adaptable Housing.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Fmadon'.

Farah Madon

Accredited Access Consultant and Architect

Vista Access Architects Pty. Ltd.

General overview of Project:

This development proposes a New Building with a total of 33 residential units and associated car parking facilities. The development is under Parramatta City Council.

This report is based on discussions with the project architects and a review of drawings and other relevant documentation provided to us. No site visit was undertaken for the purposes of this project.

Relevant dates:

- Fee proposal, number FP 6045.
- Fee proposal emailed on 03-03-2016.
- Fee proposal accepted by Client on 08-03-2016.

Assessed Drawings:

The following drawings by architex Architects have been assessed for compliance.

Drawing no	Date	Issue	Details
DA03	31-03-2016	P2	Basement level plan
DA04	31-03-2016	P2	Ground floor level plan
DA05	31-03-2016	P2	Level 1 plan
DA06	31-03-2016	P2	Level 2 plan

Document Issue:

Date	Issue	Details
15-03-2016	Draft	For Architect's review
04-04-2016	Issue A	Issued for DA

Limitations and Copyright information:

The assessment is based on the provided drawings and not based on constructed works, hence the assessment will provide assurance of compliance only if all the recommendations as listed in this report are complied with and constructed in accordance with the requirements of the current BCA, AS1428.1-2009 and other latest, relevant standards and regulations applicable at the time of construction.

Assessment is based on classification/use of the building. If the Class of the building changes to any other building Class, this access report will have to be updated accordingly.

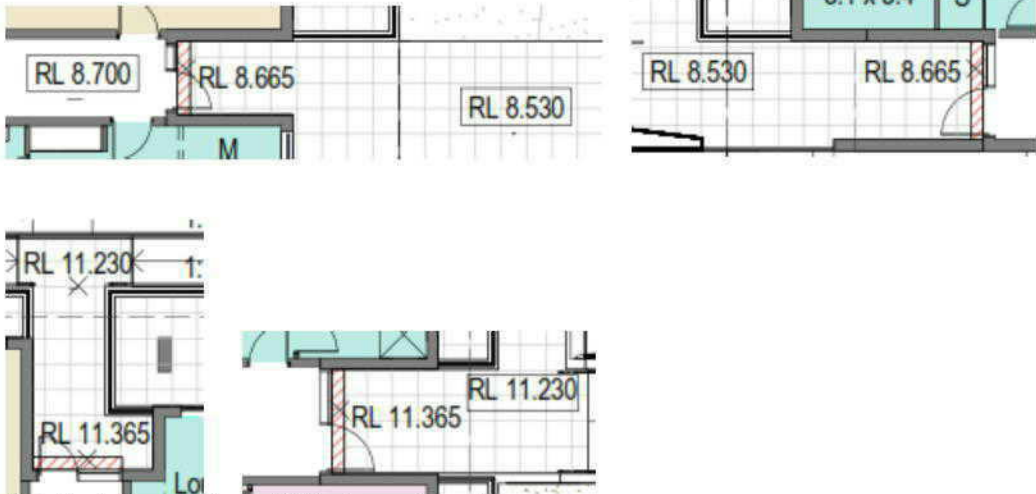
All dimensions mentioned in the report are net (CLEAR) dimensions and are not be reduced by projecting skirting, kerbs, handrails, lights, fire safety equipment, door handles less than 900mm above FFL (finished floor level) or any other fixtures/fit out elements. Only some numerical requirements from relevant AS (Australian Standards) have been noted in the report, however for further details and for construction purposes refer to the latest relevant AS, obtained from SAI Global.

This report and the drawings in this report are a copyright of Vista Access Architects and can only be used for the purposes of this particular project. This document may also contain Standards Australia Ltd copyrighted material that is distributed by SAI Global on Standards Australia Ltd.'s behalf. It may be reproduced in accordance with the terms of SAI Global Ltd.'s Licence 1601-c005 to Vista Access Architects Pty Ltd. All licensed copies of this document must be obtained from the Licensee. Standards Australia Ltd.'s material is not for resale, reproduction or distribution in whole or in part without written permission from SAI Global Ltd: Tel +61 2 8206 6355 or copyright@saiglobal.com.

This report does not assess compliance matters related to WHS, Structural design, Services design, Parts of DDA other than those related to APS or Parts of BCA or Parts of AS other than those directly referenced in this report. We will use our best judgement in regards to the LHA assessments. However, we are not to be held responsible if LHA comes to a different conclusion about compliance and certification to us in regards to a particular Quality Mark.

A report issued for DA (development application) is not suitable for use for CC (construction certificate application).

Compliance assessment with Access related requirements of BCA and the APS

BCA Part D3 Access for People with a Disability BCA D3.1 Requirements for Access SOU refers to a Sole Occupancy Unit	
Requirement	Class 2 <ul style="list-style-type: none"> - From a required accessible pedestrian entrance to at least 1 floor with SOUs and till the entry of doors of each SOU on that level. - To and within 1 of each type of room or space in common use. - Where floor is accessed by an AS1428.1 ramp or lift, all SOUs on that level till their entry doors and to and within all common use areas on that level.
Compliance Comments	Capable of compliance <ul style="list-style-type: none"> - Access has been provided from the main pedestrian entry to the entry doors of all SOUs on all levels by means of a lift. - Access via lift has been provided to at least 1 of each common use spaces such as communal gardens on roof top terraces of both buildings. - Access is provided to the common use garbage storage rooms. Details to be verified at CC stage of works.
Requirement	Class 7a- Car park To and within any level containing accessible carparking spaces.
Compliance Comments	Complies. Access has been provided to all levels containing Accessible carparking spaces. Details to be verified at CC stage of works.
BCA Part D3.2 Access to buildings	
Requirement	Accessway is required from; <ul style="list-style-type: none"> - Main pedestrian entry at the site boundary for new buildings - Any other accessible building connected by a pedestrian link - Accessible car parking spaces
Compliance Comments	Capable of compliance. <ul style="list-style-type: none"> - Access by means of BCA compliant wheelchair platform lift is provided from the main pedestrian entries at the site boundaries. - Access has been provided from accessible car parking spaces by means of lifts. - Both buildings are to be connected by means of a step free access which includes a max drop of 35mm at the doorways when used in combination with a doorway threshold ramp. This will mean detailing of 1:20 pathways to connect the levels RL8.665 and RL 8.530 and RLs 11.365 and RL 11.230. This can be detailed at CC stage of works. 
Details to be verified at CC stage of works.	

Requirement	External Walkway / Pedestrian access- to be as per requirements of AS1428.
Compliance Comments	Capable of compliance. Details to be verified at CC stage of works.
Requirement	Accessway is required through: <ul style="list-style-type: none"> - Main entry and - Not less than 50% of all pedestrian entrances and - In building with floor area over 500m², non-accessible entry and accessible entry to be not more than 50M apart
Compliance Comments	Complies Both entrances are accessible by means of BCA compliant wheelchair platform lift. Details to be verified at CC stage of works.
Requirement	Where accessible pedestrian entry has Multiple doorways : <ul style="list-style-type: none"> - At least 1 to be accessible if 3 provided - At least 50% to be accessible, if more than 3 provided Where doorway has multiple leaves, at least 1 leaf is to have clear opening of 850mm (excluding automatic doors)
Compliance Comments	Capable of compliance. In common use areas, all single hinged doors and in case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulations spaces as per AS1428.1. This is achievable and the door selections are to be verified at CC stage of works.
BCA Part D3.3 Parts of buildings required to be accessible	
Requirement	Every Ramp (excluding fire-isolated ramp) is to be compliant with : <ul style="list-style-type: none"> - AS1428.1 (including but not limited to maximum grade of 1:14 with 1.2M landings at top and bottom and at every 9M) - Slip resistance of ramp and landings comply with BCA Table D2.14
Compliance Comments	Complies with the spatial requirements. Detailed features of the ramp will be assessed with the requirements of AS1428.1 at the CC stage of works.
Requirement	Step ramp / Kerb ramp if provided is to be compliant with: <ul style="list-style-type: none"> - AS1428.1 - Slip resistance of ramp and landings to comply with BCA Table D2.14
Compliance Comments	N/A No step / kerb ramps have been identified in the development.
Requirement	Every Stairway (excluding fire-isolated stairway) is to be compliant with: <ul style="list-style-type: none"> - AS1428.1 (including but not limited to opaque risers, appropriate handrail extensions and compliant nosing strips) - Slip resistance for treads, landings and nosing strips to also comply with BCA Table D2.14
Compliance Comments	Capable of compliance. Where non-fire-isolated stairways have been provided, the features of the stairway will be assessed with the requirements of AS1428.1 at the CC stage of works.
Requirement	Every Fire-isolated Stairway is to be compliant with AS1428.1 only in the following aspects: <ul style="list-style-type: none"> - Nosing strips with minimum of 30% luminance contrast - Handrail on one side (requirement under D2.17) and - Slip resistance to comply with BCA Table D2.14
Compliance Comments	Capable of compliance. Detailed features of the fire-isolated stairways will be assessed with the requirements of AS1428.1 at the CC stage of works.
Requirement	Every Passenger lift is to comply with the requirements of BCA E3.6
Compliance Comments	This has been assessed, further on in the report in the Lifts section. Refer to Lifts section.

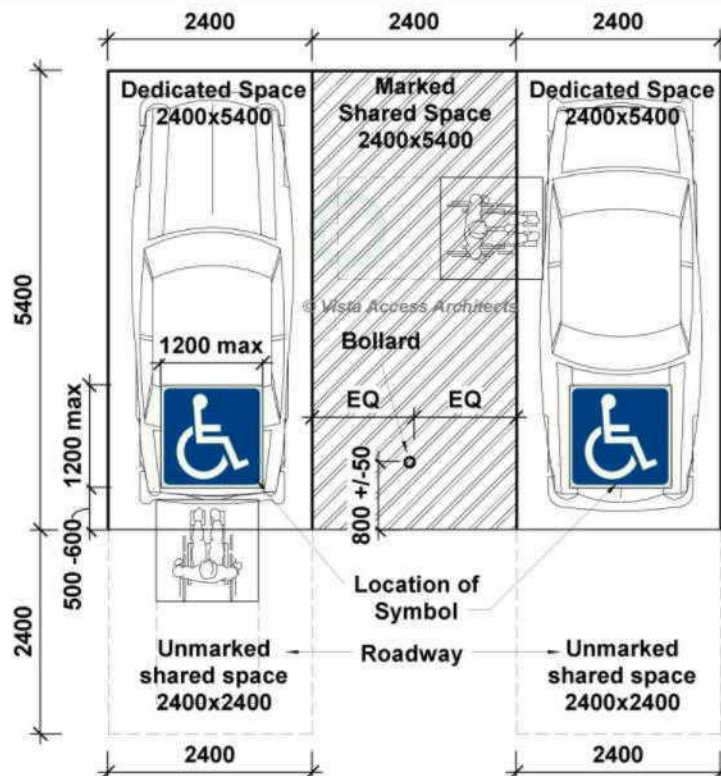
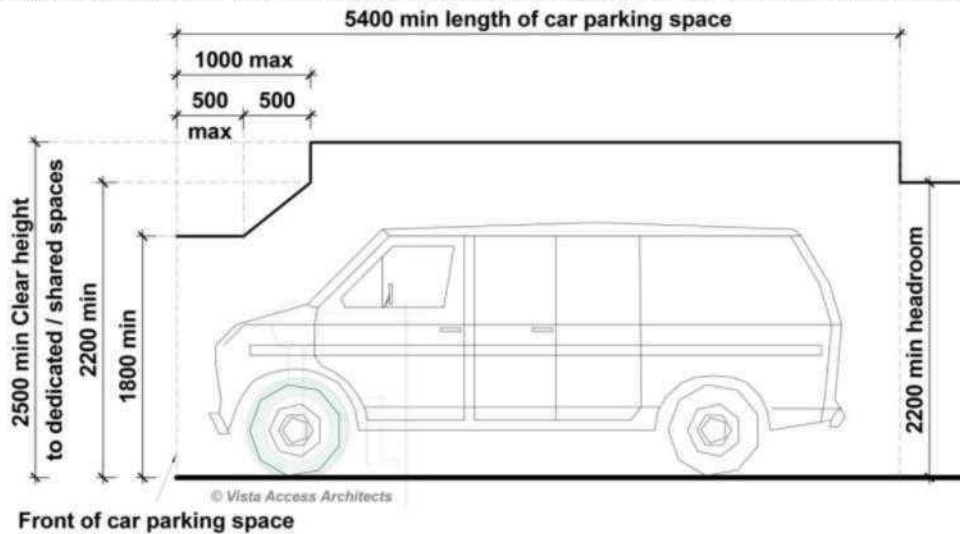
Requirement	Passing spaces requirement It is a requirement to provide passing spaces in accessways complying with AS1428.1 at maximum 20 M intervals, where a direct line of sight is not available. Space required is 1800 x 2800mm (in the direction of travel). Chamfer of 400x400mm is permitted at corners.
Compliance Comments	N/A There are no accessways over 20M lengths in the development where a direct line of sight is not available.
Requirement	Turning spaces requirement It is a requirement to provide turning spaces in accessways complying with AS1428.1 within 2M of the end of accessways where it is not possible to continue travelling and at every 20M intervals. Space required is width of 1540mm x 2070mm (in the direction of travel).
Compliance Comments	Complies. Adequate turning spaces have been provided, the minimum common use passageway widths being 1540mm clear. Details to be verified at CC stage of works.
Requirement	Carpet specifications Carpet if used in areas required to be accessible are to be provided with pile height or thickness not more than 11mm and carpet backing not more than 4mm bringing the total height to a maximum of 15mm.
Compliance Comments	Capable of compliance if carpets are provided in the common use areas. Carpet selections generally take place at CC stage of works. Selection of carpets as specified above will lead to compliance. Details to be verified at CC stage of works.
	BCA Part D3.4 Exemption
Requirement	Access is not required to be provided in the following areas : <ul style="list-style-type: none"> - where access would be inappropriate because of the use of the area - where area would pose a health and safety risk - any path which exclusively provides access to an exempted area
Compliance Comments	For information only. Areas such as lift machine rooms, fire services room, and mechanical rooms in the development are exempted from providing access under this clause due to WHS concerns.
	BCA Part D3.5 Accessible Carparking
Requirement	Class 2 There are no carparking requirements for a Class 2 under the BCA. If adaptable housing has been mandated by the Council, carparking spaces will be required under the requirements of AS4299- Adaptable housing.
Compliance Comments	Complies. Parramatta Council requires provision of 10% i.e. 4 Adaptable units in the development. Therefore 4 accessible carparking spaces are required. 4 Accessible car parking spaces have been provided in Basement one allocated to each of the Adaptable units, which complies with the requirements. 1 Accessible visitor car parking space has also been provided. Detailed features of the accessible/ adaptable parking space to be verified at CC stage of works.


AS2890.6-2009 requirements for parking

Requirement	<ul style="list-style-type: none"> - Dedicated space 2.4Mx5.4M, Shared space 2.4Mx5.4M at the same level - Slip resistant flooring surface with maximum fall 1:40 in any direction or maximum 1:33 if bituminous and outdoors - Central Bollard in shared space at 800+/-50mm from entry point (not required where driveways are used as shared spaces) - Pavement marking in dedicated space by means of access symbol between 800-1000mm high placed on a blue rectangle of maximum 1200mm and between 500-600mm from its entry point (not required for Class 2 buildings where the space has been allocated to an Adaptable unit) - Minimum headroom of 2.2M at entrances and 2.5M is required over shared zones as well as dedicated spaces - Non-trafficked area of the shared space to have marking strips at 45°, 150-200mm wide at 200-300mm spaces (not required where driveways are used as shared spaces)
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Compliance Comments

Complies with the width and length requirements of the dedicated and shared space. Add the above listed requirements to project specifications to ensure compliance. Refer to diagrams below for requirements, especially in regards to head height requirements.



	BCA Part D3.6 Signage
Requirement	Braille and Tactile signage is required to identify Accessible Sanitary facilities
Compliance Comments	N/A No common use sanitary facilities have been proposed in the development.
Requirement	Braille and Tactile signage is required to identify Ambulant Sanitary facilities
Compliance Comments	N/A No common use / ambulant sanitary facilities have been proposed in the development.
Requirement	Braille and Tactile signage is required to identify Hearing Augmentation
Compliance Comments	N/A Hearing augmentation is not provided since there is no inbuilt amplification system proposed in the development.
Requirement	 <p>Braille and Tactile signage is required to identify a Fire exit door required by E4.5 by stating the 'Exit' and 'Level', followed by either:</p> <ul style="list-style-type: none"> - the floor level number, - floor level descriptor or - a combination of both <p>Sign must be located on the side that faces a person seeking egress Exit Signage for Level 1 is shown above.</p>
Compliance Comments	Capable of compliance. All doors nominated as Exit doors require signage as described above. Signage selections generally take place at CC stage of works. Selection of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.
Requirement	Signage is required to a non-accessible pedestrian entrance
Compliance Comments	Capable of compliance. Details of selected signage to be verified at CC stage of works.
Requirement	Signage is required where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility. Directional signage incorporating the international symbol of access as per AS1428.1 must be placed at the location of the sanitary facilities that are not accessible, to direct a person to the location of the nearest accessible unisex sanitary facility.
Compliance Comments	N/A
Requirement	All signage is required to be as per Specification D3.6 Braille and Tactile Signs This includes location of signage, specifications in regards to braille and tactile characters, luminance contrast and lighting.
Compliance Comments	Capable of compliance Signage selections generally take place at CC stage of works. Selection of signage as specified above will lead to compliance. Details of selected signage to be verified at CC
	BCA Part D3.8 Tactile indicators (TGSIs)
Requirement	<p>TGSIs are required when approaching:</p> <ul style="list-style-type: none"> - Stairways other than fire-isolated stairways - Escalators / passenger conveyor / moving walk - Ramp (other than fire-isolated ramps / kerb or step or swimming pool ramps) - Under an overhead obstruction of <2M if no barrier is provided - When accessway meets a vehicular way adjacent to a pedestrian entry (if no kerb / kerb ramp provided at the location) <p>Compliance is required with AS1428.4.1 including Luminance contrast and slip resistance requirements for all TGSIs.</p>
Compliance Comments	Capable of compliance. TGSI selections generally take place at CC stage of works. Selection of TGSIs as specified will lead to compliance and these selection details are to be verified at CC stage of works.

	BCA Part D3.11 Limitations on Ramps
Requirement	<ul style="list-style-type: none"> - A series of connecting ramps cannot have a vertical height of 3.6M - A landing for a step ramp cannot overlap a landing for another ramp
Compliance Comments	Complies. Details to be verified at CC stage of works.
	BCA Part D3.12 Glazing on Accessways
Requirement	Glazing requirements: Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening are required to have a glazing strip as per requirements of AS1428.1
Compliance Comments	Capable of compliance, where provided to full length glazing used in common use areas such as lift lobbies and common passageways. Glazing strip selections generally take place at CC stage of works. Selection of glazing strips as specified above will lead to compliance and these selection details are to be verified at CC stage of works.
	BCA Part F Accessible Sanitary Facilities BCA F2.4 Accessible sanitary facilities
Requirement	Accessible unisex toilet is to be provided in accessible part of building such that; <ul style="list-style-type: none"> - It can be entered without crossing an area reserved for 1 sex only - Where male and female sanitary facilities are provided at different locations, Accessible unisex toilet is only required at one of the locations - Even distribution of LH and RH facilities If no lift is required to be provided to a level, then accessible facility is not required on that level.
Compliance Comments	N/A No common use sanitary facilities have been proposed in the development.
Requirement	Accessible unisex toilet are to be designed in accordance with AS1428.1
Compliance Comments	N/A No common use sanitary facilities have been proposed in the development.
Requirement	Ambulant use male / female toilets are to be provided if an additional toilet to the Accessible unisex toilet is provided.
Compliance Comments	N/A No common use sanitary facilities have been proposed in the development.
Requirement	Ambulant use toilets are to be designed in accordance with AS1428.1.
Compliance Comments	N/A No common use sanitary facilities have been proposed in the development.
	BCA F2.4(a) Accessible unisex sanitary compartments
Requirement	Class 2 At least 1 when sanitary compartments are provided in common areas.
Compliance Comments	N/A No common use sanitary facilities have been proposed in the development.
	BCA F2.4(b) Requirements for Accessible unisex showers
Requirement	Class 2 At least 1 when showers are provided in common areas.
Compliance Comments	N/A No common use sanitary facilities have been proposed in the development.

Requirement	Showers for Accessible use are to be designed in accordance with AS1428.1.
Compliance Comments	N/A No common use sanitary facilities have been proposed in the development.
BCA Part E Lift Installations BCA E3.2 Stretcher facility in lifts	
Requirement	A Stretcher lift is to be provided if a passenger lift is installed to serve any storey with an effective height of 12M. The space requirement is 800mm wide x 2000mm deep x 1400mm high above the floor level. Confirm this requirement with your BCA consultant.
Compliance Comments	Capable of compliance Details to be verified at CC stage of works.
BCA E3.6 Passenger lift	
Requirement	In an accessible building, Every Passenger Lift (excluding electric passenger lift, electrohydraulic passenger lift, inclined lift) must be subject to limitations on use and must comply with Tables E3.6a and E3.6b
Compliance Comments	Capable of compliance. Details to be verified at CC stage of works.
Requirement	Limitations on use of Stairway platform lifts. They must- <ul style="list-style-type: none"> - Only serve an area accommodating maximum 100 persons - Not serve high traffic public areas like cinema, auditorium, transport interchange, shopping centre, etc. - Not be used where it is possible to install another type of lift - Not connect more than 2 storeys - Not serve more than 2 consecutive storeys where more than 1 - Not encroach on the minimum required width of the stairway when in folded position - Lift floor dimensions for Stairway platform lift- 810mm wide x 1200mm deep. Limitations on use of Low-rise platform lift <ul style="list-style-type: none"> - Must not travel more than 1M Limitations on use of Low-rise, low-speed constant pressure lift <ul style="list-style-type: none"> - If enclosed, must not travel more than 4M - If unenclosed, must not travel more than 2M - Must not be used in high traffic public use areas in buildings such as theatres, cinema, auditorium, transport interchange, shopping complex, etc. Limitations on use of small sized, low-speed automatic lift Must not travel more than 12M
Compliance Comments	Capable of compliance. To be verified at CC stage of works.
Requirement	Handrail requirements for passenger lifts. Apart from stairway platform lift and low-rise lifts, a handrail is required as per AS1735.12.
Compliance Comments	Capable of compliance. Details to be verified at CC stage of works.
Requirement	Lift floor dimensions (excluding stairway platform lift) <ul style="list-style-type: none"> - Lifts traveling 12M or under, floor size, 1100mm wide x 1400mm deep - Lifts travelling more than 12M, floor size 1400mm wide x 1600mm deep
Compliance Comments	Capable of compliance Details to be verified at CC stage of works.
Requirement	Minimum Door opening size complying with AS1735.12, not less than 900mm clear (excluding stairway platform lift).
Compliance Comments	Capable of compliance Details to be verified at CC stage of works.

Requirement	All lifts with a power operated door are required to have a Passenger protection system complying with AS1735.12.
Compliance Comments	Capable of compliance Details to be verified at CC stage of works.
Requirement	Lift landing doors to be provided at upper landing (excluding stairway platform lift).
Compliance Comments	Capable of compliance Details to be verified at CC stage of works.
Requirement	Lift car and landing control buttons to comply with AS1735.12 (excluding stairway platform lift and low-rise platform lift).
Compliance Comments	Capable of compliance Details to be verified at CC stage of works.
Requirement	Lighting (for all enclosed lift cars) to be provided in accordance with AS1735.12 and AS1680. Minimum illuminance of 100 lx is required at the level of the car floor and average of 50 lx is required on the control panel surface.
Compliance Comments	Capable of compliance Details to be verified at CC stage of works.
Requirement	To all lifts serving more than 2 levels , audible and visual indication to be provided as per AS1735.12.
Compliance Comments	Capable of compliance. Details to be verified at CC stage of works.
Requirement	Emergency hands free communication (excluding stairway platform lift) – provide a button that alerts a call centre and a light that the call has been received.
Compliance Comments	Capable of compliance Details to be verified at CC stage of works.
Requirement	Provide a certificate of compliance from the lift supplier , stating that the proposed lift complies with the requirements of BCA Part E3- Lift installations.
Compliance Comments	For information only. Add the above listed requirements to project specifications to ensure compliance.

Additional Features required as per AS1428

Refer to AS1428 for full list of requirements.

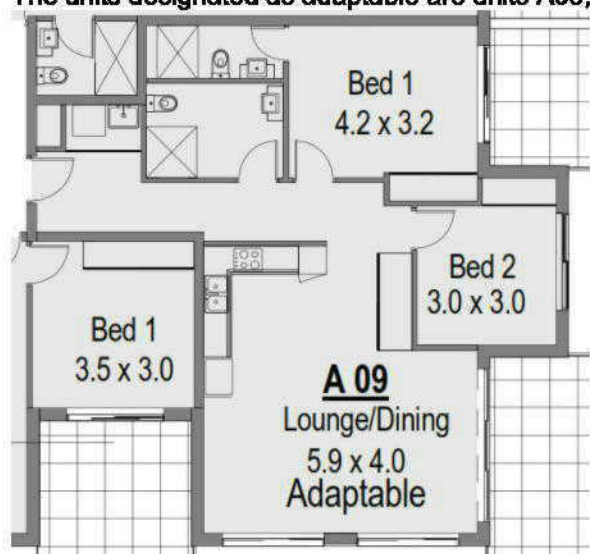
	The following accessibility requirements apply only to: - Common use areas within the residential component (including passageways leading to SOUs)
Requirement	Accessway width requirements - All Accessway widths are to be a minimum of 1M clear with vertical clearance of at least 2M
Compliance Comments	Complies. Details to be verified at CC stage of works.
Requirement	Doorway requirements - All doorways in the development in accordance with AS1428.1 - Door thresholds are to be level or they can incorporate a Threshold ramp as per AS1428.1 - Distance between successive doorways in airlocks to be 1450mm which is measured when the door is in open position in case of swinging doors.
Compliance Comments	Capable of compliance. Details to be verified at CC stage of works.

Requirement	Door hardware requirements Door hardware including door handles, door closers, snibs in accessible toilets etc. are required to comply with requirements of AS1428.1.
Compliance Comments	Capable of compliance. Door hardware selections generally take place at CC stage of works. Selection of door hardware as specified above will lead to compliance and these selection details are to be verified at CC stage of works.
Requirement	Luminance contrast requirements for doorways. All doorways to have a minimum luminance contrast of 30% provided as per AS1428.1 with the minimum width of the luminance contrast to be 50mm.
Compliance Comments	Capable of compliance. Painting schedule is generally developed at the CC stage of works. The painting schedule of walls/doors and door frames are to consider the above requirements when colours are selected. Generally a light colour door with a dark colour frame will satisfy requirements. Selection details are to be verified at CC stage of works.
Requirement	Floor or ground surfaces <ul style="list-style-type: none"> - Use slip-resistant surfaces. The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability. - Abutment of surfaces is to have a smooth transition. Construction tolerances to be as per AS1428.1 - Grates if used in the accessible path of travel is required to comply with the requirements as per AS1428.1
Compliance Comments	Capable of compliance. Floor surface selections generally take place at CC stage of works. Selection of floor surfaces as specified above will lead to compliance and these selection details are to be verified at CC stage of works.
	Switches, Controls and Lighting requirements All switches and controls (including controls for intercom facilities and external lift control buttons) on an accessible path of travel, Accessible SOUs and Accessible sanitary facilities to be located as per requirements of AS1428.1
Compliance Comments	Capable of compliance. Lighting fixture selections and locations generally take place at CC stage of works. Selection of lighting fixtures and locating them as specified above will lead to compliance. These selection/location details are to be verified at CC stage of works.

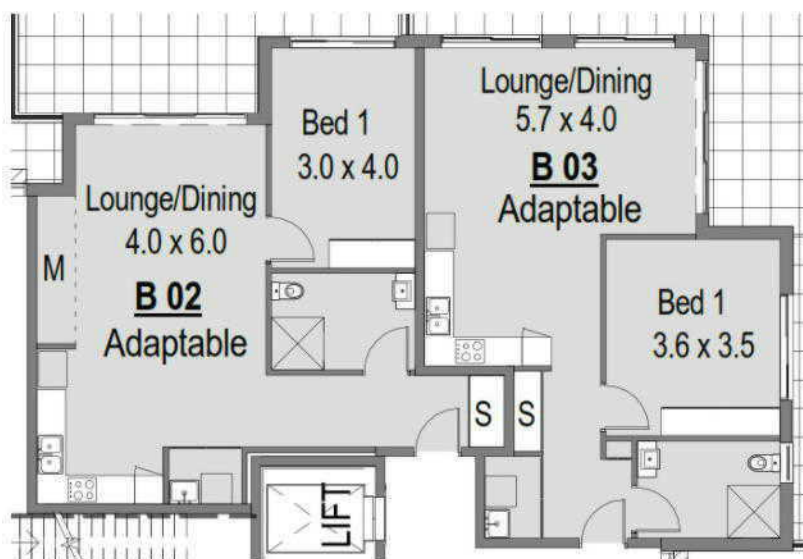
AS4299.1995- Adaptable Housing

4 Adaptable units are required by the Council's DCP.

The units designated as adaptable are units A09, A15, B02 and B03



Typical layout for A09 and A15 shown above



Typical layout for B02 and B03 shown above

At DA stage there is insufficient information to certify compliance with the Standard, however, in accordance with the table below, the nominated units can comply with the spatial requirements of AS4299 for Adaptable Housing.

AS4299.1995 - Class C – Essential requirements.

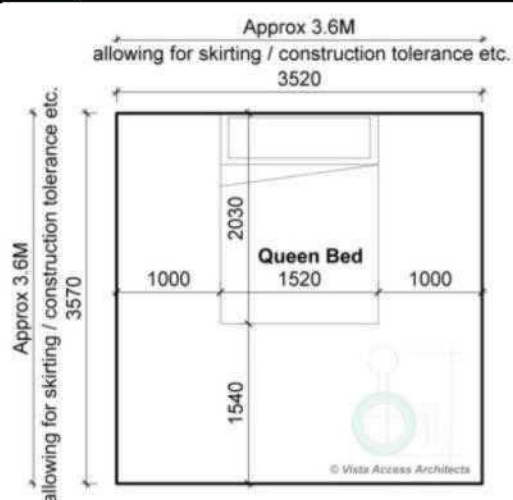
R☑= Required;

C☑ =Capable of compliance at by adding the requirement to the project specifications or in some cases capable of compliance at post adaptation stage (where noted in comments).

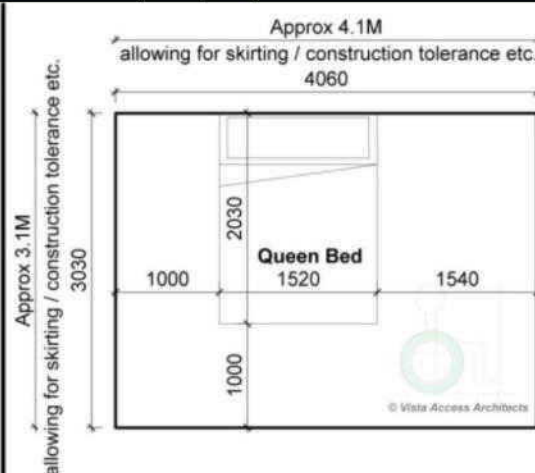
	Clause no	Requirements as per AS4299	R	C	Comments
		Drawings			
1	2.3	Provision of drawings showing the housing unit in its pre-adaptation and post-adaptation stages	☑	☑	

		Siting			
3	3.3.2	A continuous accessible path of travel from street frontage and vehicle parking to entry complying with AS 1428.1	✓	✓	Access is provided from street by means of an AS1428.1 compliant ramp / walkway and from accessible parking space by means of a lift.
		Letter boxes			
11	3.8	Letterboxes to be on hard standing area connected to accessible pathway	✓	✓	Capable of compliance. Letterboxes for all Adaptable units to be between 900mm to 1100mm above FFL and min 500mm from any internal corner.
		Parking			
14	3.7.2	Car parking space or garage min. area 6.0Mx 3.8M or a hard surfaced level outside of 5.4Mx3.8M is provided as a sheltered car park or can be provided in the future	✓	✓	Can also be provided as per AS2890.6, which is permissible.
		Accessible Entry			
20	4.3.1	Accessible entry	✓	✓	
22	4.3.2	Accessible entry to be level (i.e. maximum of 1:40 slope)	✓	✓	
23	4.3.2	Threshold to be low-level	✓	✓	
24	4.3.2	Landing to enable wheelchair manoeuvrability 1550mm diameter	✓	✓	
25	4.3.1	Accessible entry door to have 850mm min. clearance	✓	✓	Usually achieved by 920mm door leaf.
27	4.3.4	Door lever handles and hardware to AS1428.1	✓	✓	Add to Specifications.
		Interior: General			
32	4.3.3	Internal doors to have 820mm minimum clearance	✓	✓	Provide an 850mm clear opening door to the adaptable bathroom and 1 main bedroom.
33	4.3.7	Internal corridors min. width of 1000mm	✓	✓	
34	4.3.7	Provision for compliance with AS1428.1 for door approaches	✓	✓	Can be compliant post adapt, with easily removable cabinetry.
		Living room and dining room			
36	4.7.1	Circulation space of min. 2250mm diameter.	✓	✓	
38	4.7.4	Telephone adjacent to GPO	✓	✓	Add to Specifications.
41	4.10	Potential illumination level minimum 300 lux	✓	✓	Add to Specifications.
		Kitchen			
42	4.5.2	Minimum width 2.7M, (1550mm clear between benches)	✓	✓	Can be compliant post adaptation. Ensure flooring is continued under all floor benches.
43	4.5.1	Provision for circulation at doors to comply with AS1428.1	✓	✓	N/A, No door provided to kitchen.
44	4.5.5	Provision for benches to include at least one work surface of 800mm length, adjustable in height from 750mm to 850mm or replaceable.	✓	✓	1 section of 800mm bench space to be provided between fridge and cooktop.
45	4.5.5	Refrigerator adjacent to work surface	✓	✓	Add to Specifications.
46	4.5.6	Kitchen sink adjustable to heights from 750mm to 850 mm or replaceable	✓	✓	Can be compliant post adaptation.
47	4.5.6	Kitchen sink bowl maximum 150mm deep	✓	✓	Replaceable at post adaptation.
48	4.5.6 e	Tap set capstan or lever handles or lever mixer	✓	✓	Add to Specifications.
49	4.5.6 e	Tap set located within 300mm of front of sink	✓	✓	Can be compliant post adaptation

51	4.5.7	Cooktops to include either front or side controls with raised cross bars.	✓	✓	Add to Specifications.
52	4.5.7	Cooktops to include isolating switch	✓	✓	Add to Specifications.
53	4.5.7	Work surface minimum 800 mm length, adjacent to cook top at same height	✓	✓	Add to Specifications.
54	4.5.8	Oven located adjacent to an adjustable height or replaceable work surface. It is recommended that a side door opening wall oven is provided with the clear work surface to be on the opposite side of the hinge.	✓	✓	Can be compliant post adaptation.
59	4.5.11	GPOs to comply with AS1428.1. At least one double GPO within 300mm of front of work surface.	✓	✓	Add to Specifications.
60	4.5.11	GPO for refrigerator to be easily reachable when the refrigerator is in its operating position.	✓	✓	Add to Specifications.
61	4.5.4	Slip-resistant floor surface	✓	✓	Add to Specifications.
Main bedroom					

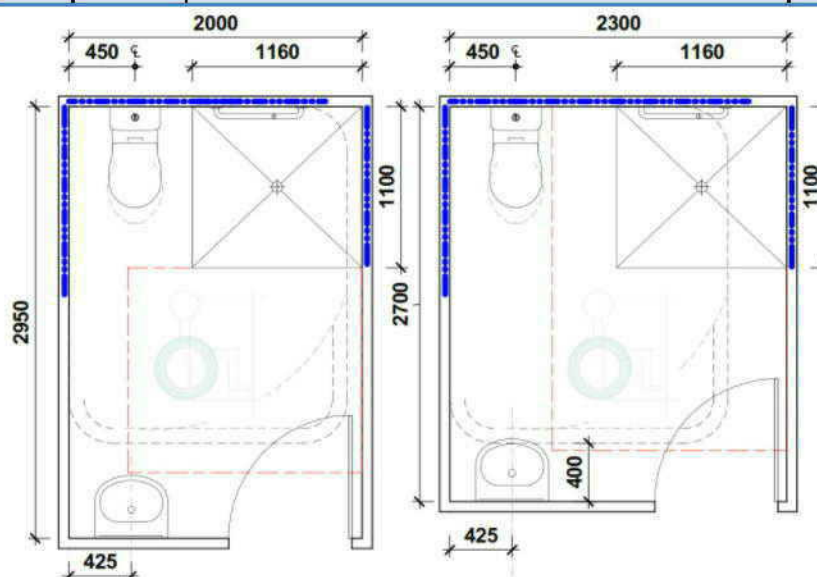


Bedroom Size - Option 1



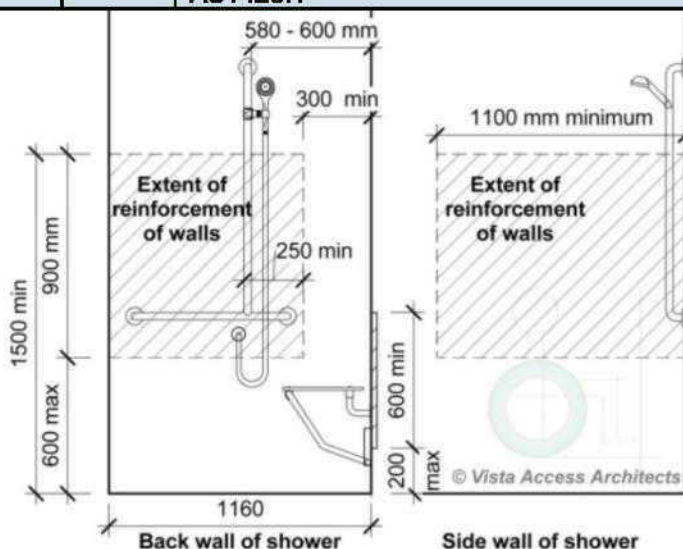
Mirror layout will also comply.
Bedroom Size - Option 2

62	4.6.1	At least one bedroom of area sufficient to accommodate queen size bed and wardrobe and circulation space requirements of AS1428.2	✓	✓	A space of 1.54Mx2.07M at the base or one side of the bed is considered to be compliant.
		Main Adaptable bathroom			
75	4.4.1	Provision for bathroom area to comply with AS1428.1	✓	✓	A bathroom with minimum space of 2Mx 2.95M or 2.3Mx2.7M or 2.4Mx2.45M is required.



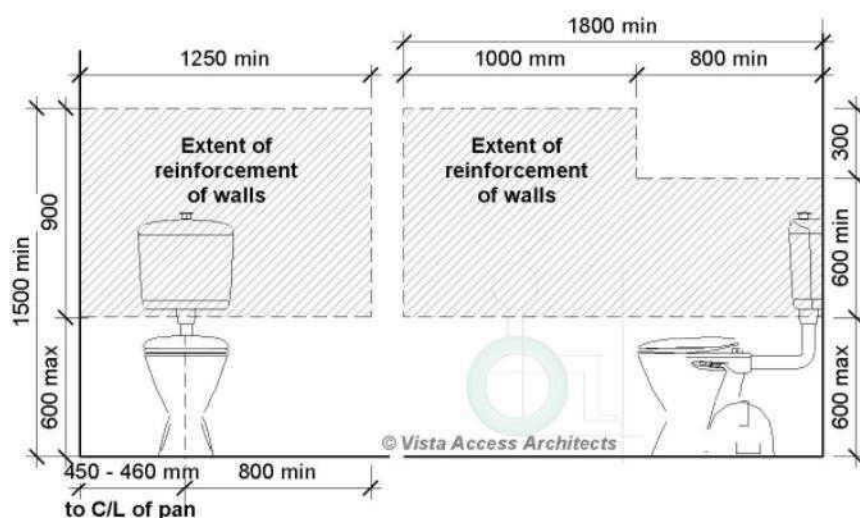
Post Adaptation bathroom layouts shown above

76	4.4.2	Slip-resistant floor surface	✓	✓	Add to Specifications.
77	4.4.4 f	Shower recess - no hob. Minimum size 1160x1100mm to comply with AS1428.1	✓	✓	Add to Specifications.
78	4.4.4 f	Shower area waterproofed to AS3740 with floor to fall to waste	✓	✓	Add to Specifications.
79	4.4.4 f	Recessed soap holder	✓	✓	If recessed is not provided a heavy duty load bearing soap holder will be required.
80	4.4.4 f	Shower taps positioned for easy reach to access side of shower sliding track.	✓	✓	Add to Specifications.
82	4.4.4 h	Provision for adjustable, detachable hand held shower rose mounted on a slider grabrail or fixed hook plumbing and wall-strengthening provision (unless brick walls provided)	✓	✓	Reinforcement to wall to take the grabrails has to be provided as per requirements of AS4299
83	4.4.4 h	Provision for grabrail in shower to comply with AS1428.1	✓	✓	Add to Specifications.



Reinforcement requirements for the Adaptable unit-Shower (in post adaptive position) Shower seats are not required to be provided in Adaptable units. Refer to AS4299 for further details.

83	4.4.4 h	Provision for grabrail in shower to comply with AS1428.1	✓	✓	Add to Specifications.
86	4.4.4 c	Tap sets to be capstan or lever handles with single outlet	✓	✓	Add to Specifications.
88	4.4.4 g	Provision for washbasin with clearances to comply with AS1428.1	✓	✓	Min of 425mm is required from the side wall to the centre line of the basin. Basin is required to be at least 300mm away from door swing.
90	4.4.4 d	Double GPO bedside mirror	✓	✓	Add to Specifications.
Toilet					
92	4.4.3	Provision of either 'visitable toilet' or accessible toilet	✓	✓	Visitable is provided. Accessible can be provided post-adaptation.
93	4.4.1	Provision to comply with AS 1428.1	✓	✓	
94	4.4.3	Location of WC pan at correct distance from fixed walls	✓	✓	450mm – 460mm is required from the side wall to the centre line of the WC pan. Add to Specifications.
95	4.4.4 h	Provision for grabrail zone.	✓	✓	Reinforcement to wall to take the grabrails has to be provided as per requirements of AS4299 unless brick walls have been provided. Add to Specifications.



96	4.4.2	Slip-resistant floor surface (vitreous tiles or similar)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Add to Specifications.
		Laundry			
98	4.8	Circulation at doors to comply with AS1428.1	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	N/A cupboard style laundry is proposed.
99	4.8	Provision for adequate circulation space in front of or besides appliances (minimum 1550mm depth)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Add to Specifications.
100	4.8 e	Provision for automatic washing machine	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Add to Specifications.
102	4.8 a	Where clothes line is provided, an accessible path of travel to this	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Add to Specifications.
105	4.8 g	Double GPO	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Add to Specifications.
108	4.9.1	Slip-resistant floor surface	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Add to Specifications.
		Door locks			
110	4.3.4	Door hardware operable with one hand, located 900-1100mm above floor	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Add to Specifications.
General Recommendations		<p>- It is recommended that where balconies / outdoor areas have been provided to Adaptable units, provide the sliding doors such that the tracks are recessed, so level access can be provided to the balcony / outdoor areas from inside the unit. If the balcony is to be brought up to the same level as the unit at post-adaptation by means of decking etc. then ensure that the handrail height requirements are complied with, considering the raised height of the balcony level. Also sliding doors in the living areas leading to outdoor areas are to be such that opening of the door is able to provide a clear opening space of 850mm with a latch side space of 530mm.</p> <p>- Where the location of fixtures such as WC pans, wash basins, sinks, laundry fixtures and any other fixtures are to be relocated post-adaptation to comply with AS1428.1, then the service pipes (waste and water supply pipes) have to be laid in the correct AS1428.1 specified position at pre-adaptation itself and the services to be capped off for future use.</p> <p>- Consideration to be given to recess the slab in the wet areas so that there is no level difference once the floor finishes are applied (i.e. flush transition from carpeted area to tiles area).</p>			

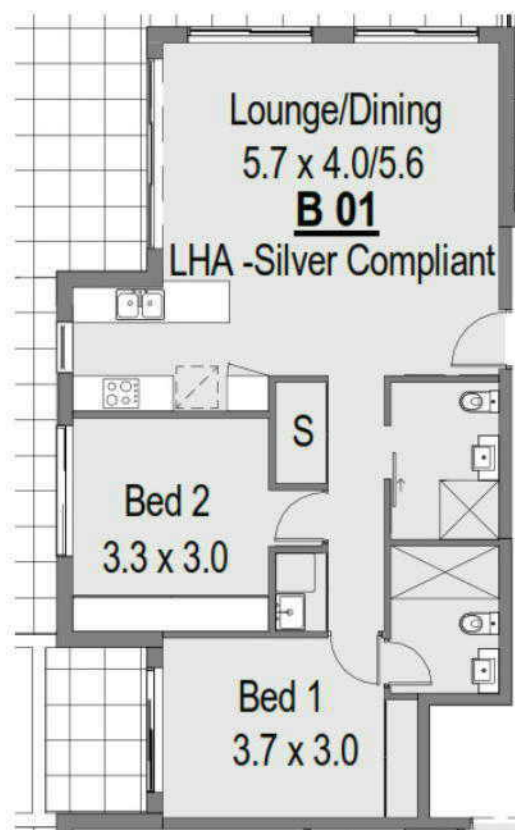
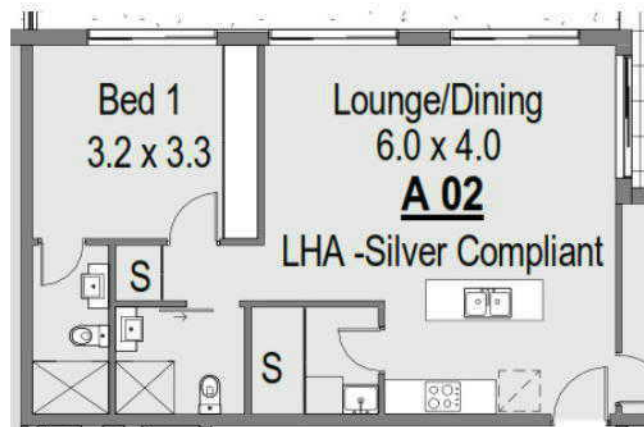
SEPP 65 – Part 4Q1

Compliance assessment with Objective 4Q1 that requires 20% of the units to incorporate the features of the **Livable Housing Guidelines Silver level**.

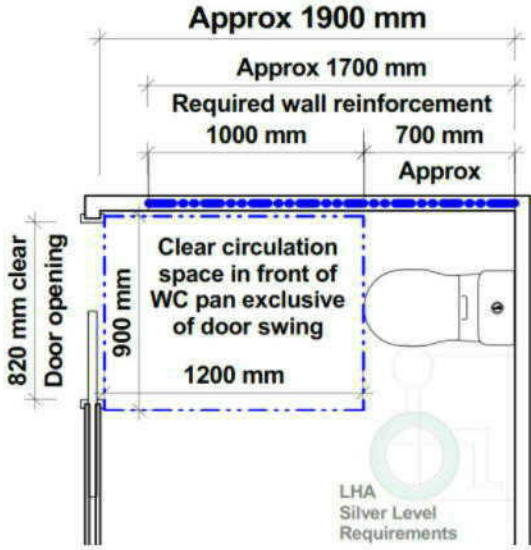
20% of 33 = 6.6 = 7 units.

Since 4 of the units already comply with the Adaptable unit requirements, these units are also capable of satisfying the intent of Silver level of Livable Housing Guidelines.

In addition to the adaptable units provided the following 3 units A02, B01 and B05 are capable of providing compliance with the features of Silver level of Livable Housing Guidelines as tabled below.



Design Element	Requirements	Compliance / Comments
1 Dwelling Access	(a) Provide a safe and continuous pathway from: (i) front site boundary or (ii) associated carparking space, if provided, which may include the driveway on the site, to a step-free entrance (not applicable to sites steeper than 1:14)	Complies. Verify at CC
	(b) The path to be 1M clear, step-free, even, firm, slip-resistant with a crossfall of not more than 1:40. Landings of 1.2M to be every 9M for 1:14 and every 15M for 1:20	Complies. Verify at CC
	(c) Step ramp can be provided for max height of 190mm, max grade of 1:10, min width of 1M and max length of 1900mm.	N/A
	Note: Level landings of 1200mm required exclusive of the swing of the door or gate and to be provided at the head and foot of the ramp.	N/A

2 Dwelling entry	(a) Dwelling Entry should provide an entrance door with (i) min clear opening width of door to be 820mm (ii) Step free threshold of max 5mm with rounded or bevelled lip (iii) Sheltered	Complies. Verify at CC
	(b) Level landing of 1200x1200mm at step-free entrance door	Complies
	(c) Max permissible threshold is 56mm where provided with a threshold ramp.	N/A
	(d) Entrance to be connected to a pathway (specified under Element 1) Note: The entrance to incorporate waterproofing and termite management requirements as specified in the NCC	Complies
3 Car parking	(a) Where the parking forms part of the dwelling access, the space to be (i) Min 3.2m wide and 5.4m long (ii) even, firm and a slip resistant surface and (iii) level with 1:40 max gradient (1:33 for bitumen)	N/A
	Note: Does not apply to Class 2 buildings.	
4 Internal doors and corridors	(a) Doors to rooms on the entry level used for living, dining, bedroom, bathroom, kitchen, laundry and bathroom to be (i) 820mm clear opening and (ii) provided with a level threshold of max 5mm between abutting surfaces with rounded or bevelled lip	Complies. Verify at CC
	(b) Internal corridors and passageways to doorway to be min 1M clear.	Complies
5 Toilet	(a) Toilet to be provided on the ground or entry level with (i) Min 900mm between walls if located in separate room (ii) Min 1200mm clear space in front of the WC pan exclusive of door swing.	Complies. Verify at CC
	(b) If toilet is located in bathroom, toilet pan should be located in corner of the room to enable installation of grabrails. 	Complies. Verify at CC
6 Shower	(a) One bathroom to have a slip resistant hobless (step free) shower. Shower screens are permitted as long as they can be easily removed at a later date.	Complies. Verify at CC
	(b) Shower to be located in the corner of the room	Complies
7 Reinforcement of toilet & bathroom walls	(a) Bathroom walls shall be constructed of masonry or provided with wall reinforcement to allow the later fixing of grabrails around the shower, bath (if provided) and toilet.	Capable of compliance. Verify at CC

	(b) The fastenings, wall reinforcement and grabrails combined must be able to withstand at least 1100N of force applied in any position and in any direction. Builder to photograph the wall before the sheeting	Capable of compliance. Verify at CC
	(c), (d) and (e) The walls around toilet / bath and shower to be via: (i) noggings with a thickness of at least 25mm (ii) sheeting with a thickness of at least 12mm	Capable of compliance. Verify at CC
	Refer to reinforcement diagrams as demonstrated in the Livable Housing Guidelines Document by LHA	
8 Internal Stairways	(a) Where an internal stair rises more than 1M, a continuous handrail must be provided on 1 side.	N/A No internal stairway in units.

Disability Discrimination Act

Advisory Only

	<p>The Federal Disability Discrimination Act 1992 (DDA) provides protection for everyone in Australia against discrimination based on disability. Section 32 of the DDA focuses on the provision of equitable and dignified access to services and facilities for people with mobility, sensory and cognitive disabilities.</p> <p>Disability discrimination happens when people with a disability and their relatives, friends, carers, co-workers or associates are treated less fairly than people without a disability.</p> <p>Compliance with Access to Premises Standards give certainty to building certifiers, building developers and building managers that, if access to (new parts) of buildings is provided in accordance with these Standards, the provision of that access, to the extent covered by these Standards, will not be unlawful under the DDA. This however applies only to the new building or new parts of an existing building and its affected part. All areas outside the scope of these areas are still subject to the DDA. We cannot guarantee or certify for DDA compliance because DDA compliance can only be assessed by the Courts.</p> <p>Scope of DDA extends beyond the building fabric and also includes furniture and fittings.</p>
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Statement of Experience

Farah Madon

Access Consultant, Architect & LHD Assessor
Director of Vista Access Architects Pty Ltd

- Disability Access Consultant and Accredited member of Association of Consultants in Access Australia (ACAA) Membership no 281
- Architect, registered with the NSW Architects Registration Board. Registration number 6940
- Member of Australian Institute of Architects (RAIA), A+ Practice member, Membership no 49397
- Registered Assessor of Livable Housing Australia. License no 10032

Farah's Educational Profile and Qualifications Include:

- Bachelor of Architecture Degree with Honours (B.Arch) in 1998
- Certificate IV in Property (Access Consulting) in Units PRDAC401A/403A/503A in 2008
- OHS Construction Induction Training Certificate in 2007
- Successful completion of Reaccreditation written test administered by a RTO on behalf of ACAA in 2012

Farah has 17 years of experience in the field of Architecture and Access. Farah specialises in access consultancy services, including design for access, access related advise and auditing services and alternative solution assessment for access related issues under the BCA by means of Expert Judgement.

Farah has acted as an expert witness for Access related matters in the Land and Environment Court.

Farah also participates on the following committees concerning access for people with disabilities, on an honorary basis:

- Member of the Penrith City Council's Access Committee. Farah currently serves as a Community representative member on Penrith City Council's Access Committee.
- Australian Institute of Architects (RAIA) National Access Work Group. (NAWG)
Farah is a current member of NAWG.
- Management Committee member of ACAA
Farah is a National Management Committee member of ACAA and serves as the convener of the ACAA's Access related Practice Notes.
- Management Committee member of NSW Network of Access Consultants
Farah currently serves as the Secretary of ACAA's NSW Network of Access Consultants.
- Management Committee member of Penrith Disabilities Resource Centre
Farah serves as a Committee member of PDRC, which commenced in 1988 and is government funded by the Ageing, Disability and Home Care, Department of Human Services (ADHC), to support people with disabilities.



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